

# **Attachment B**

**Selected Drawings**

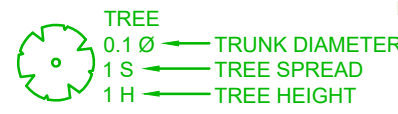
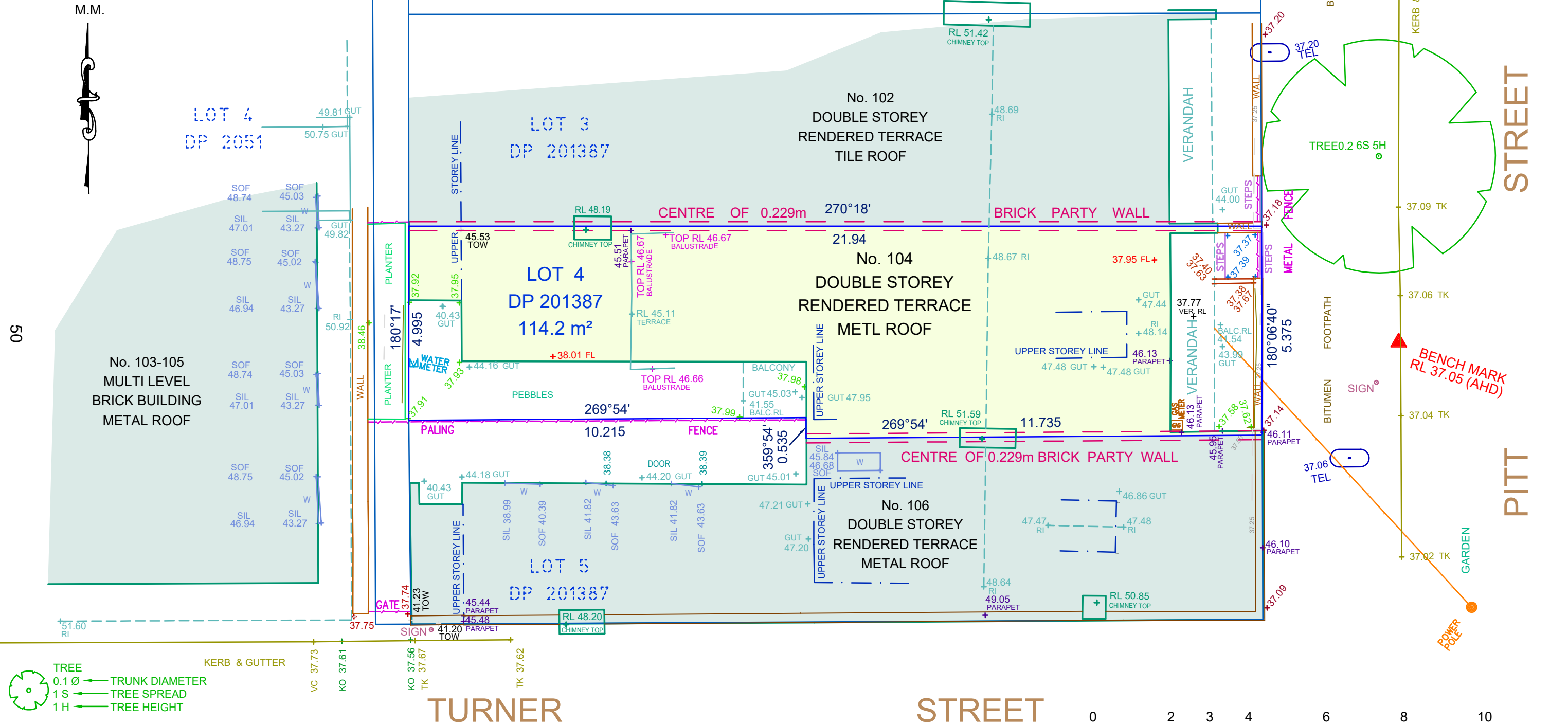


**IMPORTANT NOTES:**  
 1 THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW STRUCTURES ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.  
 2 THE BOUNDARIES (AND EASEMENTS, IF PRESENT) SHOWN HEREON HAVE BEEN COMPILED FROM INFORMATION HELD BY LAND REGISTRY SERVICES NSW AND ARE APPROXIMATE ONLY.  
 3 MARKS INDICATING LOCATION OF NEW STRUCTURES AND/OR BOUNDARIES MUST BE PLACED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION COMMENCING.  
 4 DO NOT SCALE OFF THE PLAN, POSITION OF IMPROVEMENTS SHOWN IS DIAGRAMMATIC ONLY. WHERE RELATION OF STRUCTURES TO BOUNDARY IS CRITICAL, FURTHER SURVEY MAY BE REQUIRED.  
 5 CONTOURS (IF SHOWN) DEPICT GENERAL TOPOGRAPHY, EXCEPT AT SPOT LEVELS. THEY DO NOT NECESSARILY REPRESENT THE EXACT LEVEL AT PARTICULAR POINTS ALONG THE CONTOUR.  
 6 THIS NOTE FORMS AN INTEGRAL PART OF THIS PLAN.

**LINETYPE LEGEND**

[Blue dashed line]	BOUNDARY
[Green dashed line]	BUILDING EDGE
[Cyan dashed line]	GUTTER / RIDGE LINE / AWNING
[Purple dashed line]	FENCE
[Orange dashed line]	AERIAL ELECTRICITY LINE
[Brown dashed line]	MAJOR CONTOURS
[Black dashed line]	MINOR CONTOURS

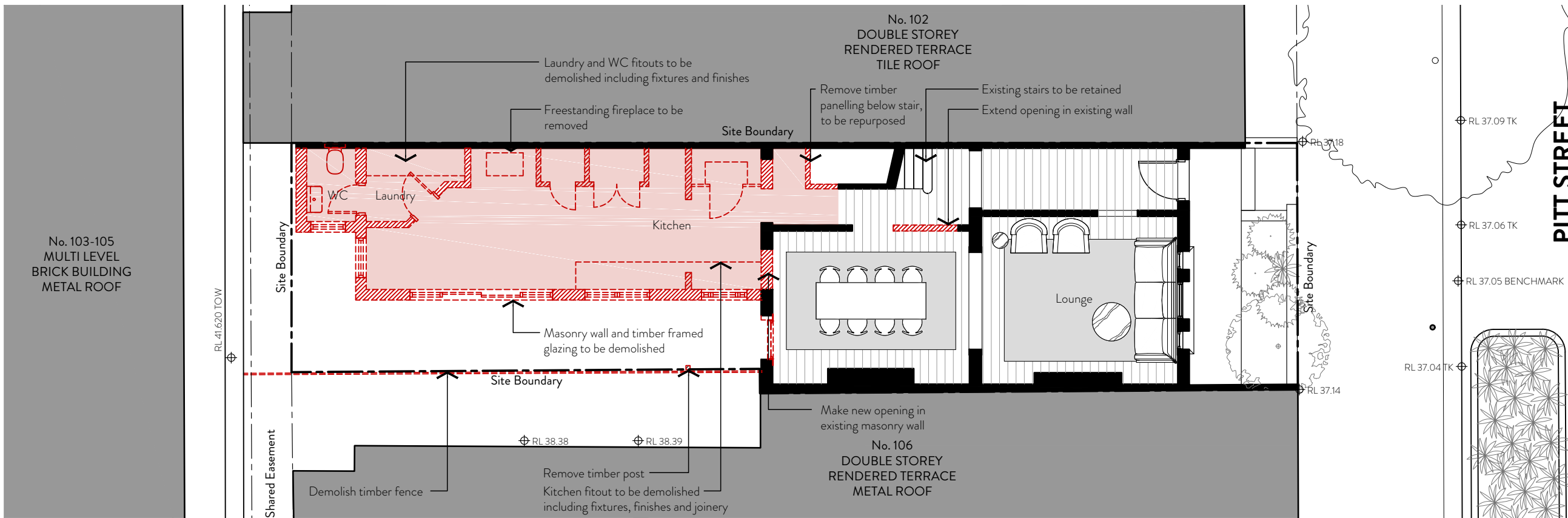
GUT	GUTTER
RI	RIDGE
FL	FINISHED FLOOR LEVEL
TK	TOP OF KERB
VC	VEHICLE CROSSING
KO	KERB OUTLET
W	WINDOW
SIL	WINDOW SILL
SOF	WINDOW SOFFIT
D	DOOR
TOW	TOP OF WALL
WM	WATER METER
GMT	GAS METER
TEL	COMMS. PIT



THIS DRAWING AND THE DESIGN SHOWN HEREON IS THE PROPERTY OF ENSURE CONSULTING PTY LTD AND SHALL NOT BE COPIED NOR REPRODUCED IN PART OR IN WHOLE IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF ENSURE CONSULTING PTY LTD, NSW, AUSTRALIA, AND SHALL BE USED ONLY BY THE CLIENT OF ENSURE CONSULTING PTY LTD FOR THE PROJECT FOR WHICH IT WAS PROVIDED.



Rev	DATE	Dm	Chk	DRAWN: D.P. CHECKED: J.E. DATUM: AHD ORIGIN OF LEVELS: CORSNET GNSS BM 37.05 CONTOUR INTERVAL: 0.25 SCALE: 1:100	A3	 <b>Ensure Consulting Pty Ltd</b> ABN: 20 624 253 032 Unit 8, 10-12 Sylvester Avenue, Unanderra NSW 2526 Australia Po Box 243, St Leonards NSW 1590 Tel: 02 4210 4143 Email: office@ensureco.com.au	REGISTERED SURVEYOR Ziemowit Tomasz Wierzchowski No 8651 PLAN SHOWING LEVELS, DETAILS AND CONTOURS 104 PITT STREET, REDFERN NSW	DATE: 23.12.2022 SHEET 1 OF 1 DRAWING No: <b>230593-DE-01 B</b>
							B 06.06.2023 EXTRA DETAIL SURVEY ADDED Z.D. J.E. A 23.12.2022 ORIGINAL D.P. J.E.	



**01 GROUND FLOOR DEMOLITION** 1:100

### DA LEGEND

**Plan**

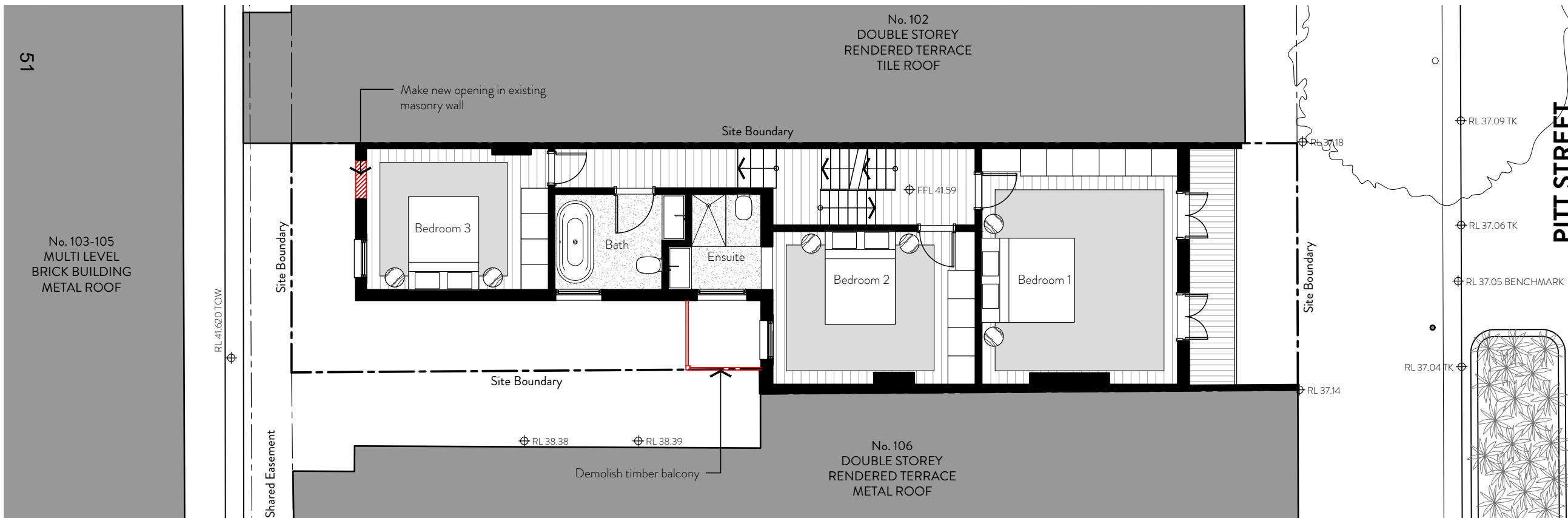
- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

**Finishes**

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

**Abbreviations**

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



**02 LEVEL 1 DEMOLITION PLAN** 1:100

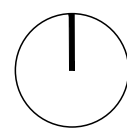
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



**REVISION**  
 01 15.05.2024 DA Additional Info

104 PITT STREET, REDFERN

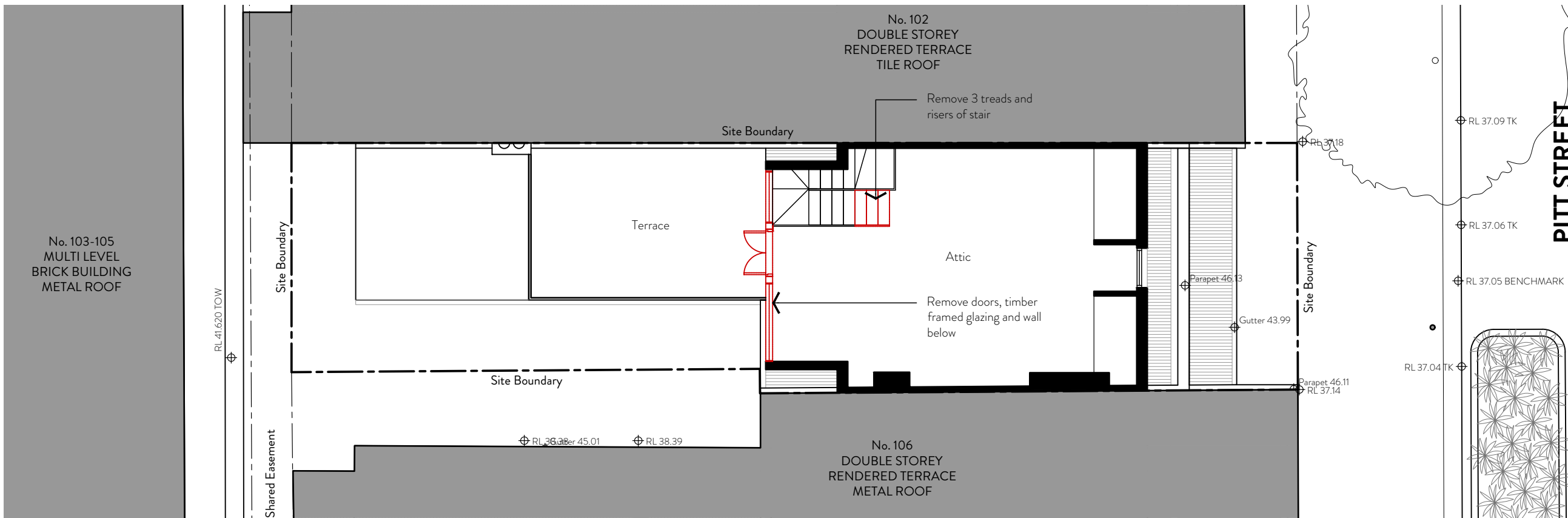
DEMOLITION PLAN  
 GROUND & LEVEL 1

15.05.2024  
 Drawn AB  
 Checked CP  
 Project No. **23.02**

1:100 A3

**A-2500/01**

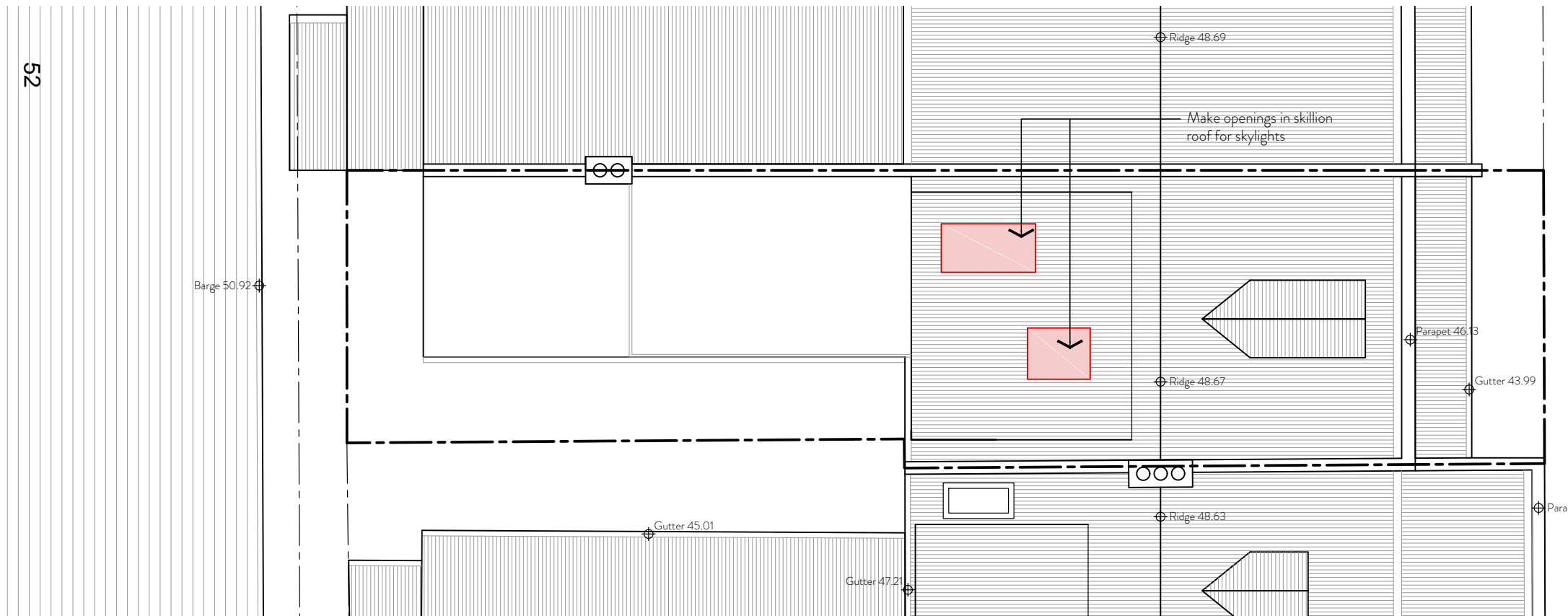
**CRAFT**



**DA LEGEND**

- Plan**
- Existing wall to be retained
  - Structure or wall to be demolished
  - Proposed new masonry wall
  - Proposed new lightweight walls
  - Proposed new glazing
- Finishes**
- Tiles
  - Masonry wall
  - New glazing
  - Metalwork
  - Joinery
  - Timber
  - Concrete
  - Planter
- Abbreviations**
- COS Check on site
  - DP Downpipe
  - EDP Existing Downpipe
  - EX Existing
  - FFL Finished Floor Level
  - LD Linear Drain
  - OF Overflow Spitter
  - RL Relative Level
  - TBC To be Confirmed
  - TBA To be Advised

**01 GROUND FLOOR DEMOLITION** 1:100



**02 LEVEL 1 DEMOLITION PLAN** 1:100

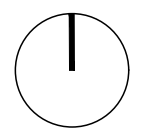
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



**REVISION**  
 01 15.05.2024 DA Additional Info

104 PITT STREET, REDFERN

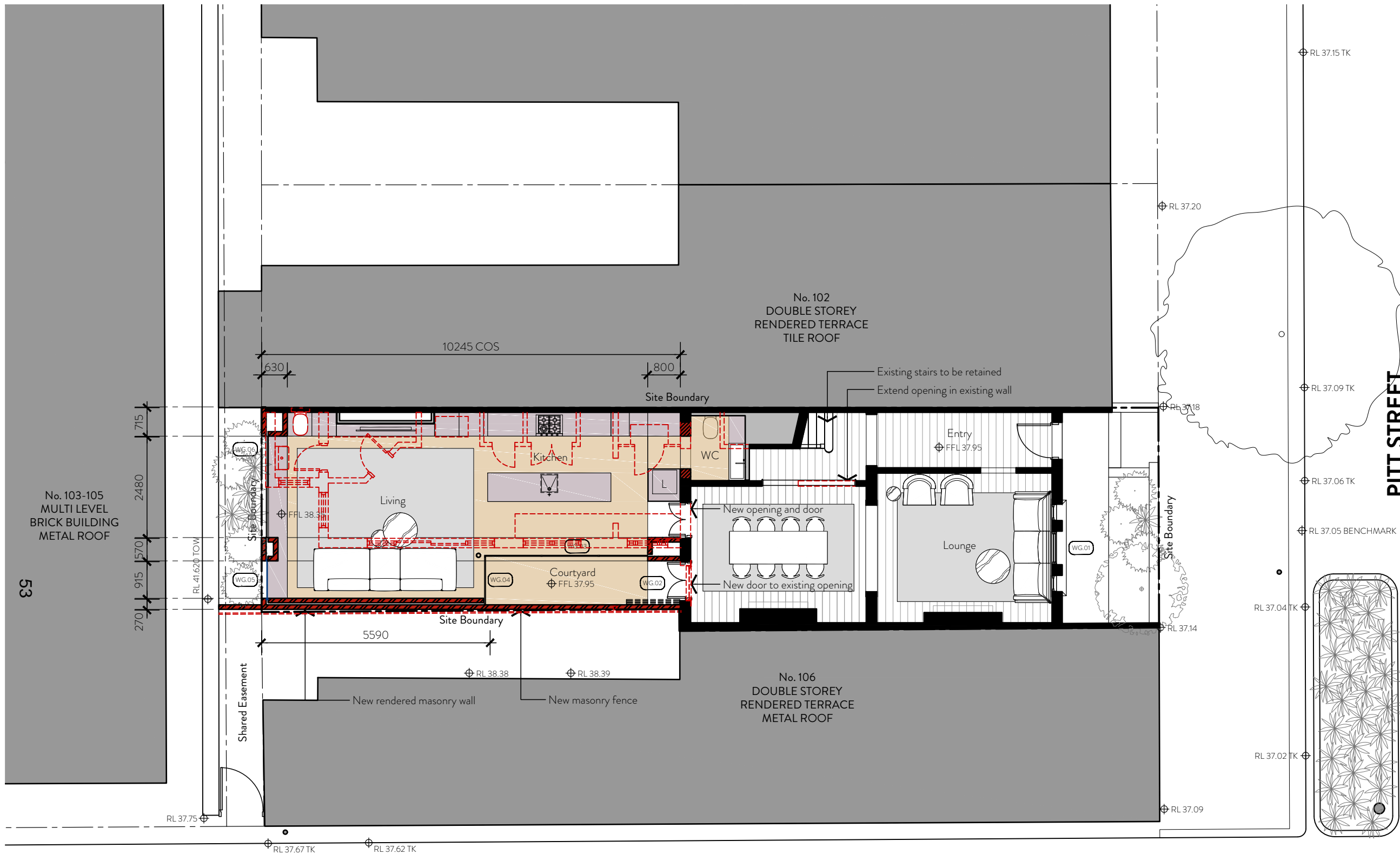
DEMOLITION PLAN  
 LEVEL 2 & ROOF

15.05.2024  
 Drawn AB  
 Checked CP  
 Project No. **23.02**

1:100 A3

**A-2501/01**

**CRAFT**



**DA LEGEND**

- Plan**
- Existing wall to be retained
  - Structure or wall to be demolished
  - Proposed new masonry wall
  - Proposed new lightweight walls
  - Proposed new glazing
- Finishes**
- Tiles
  - Masonry wall
  - New glazing
  - Metalwork
  - Joinery
  - Timber
  - Concrete
  - Planter
- Abbreviations**
- COS Check on site
  - DP Downpipe
  - EDP Existing Downpipe
  - EX Existing
  - FFL Finished Floor Level
  - LD Linear Drain
  - OF Overflow Spitter
  - RL Relative Level
  - TBC To be Confirmed
  - TBA To be Advised

**TURNER STREET**

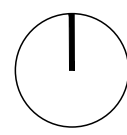
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



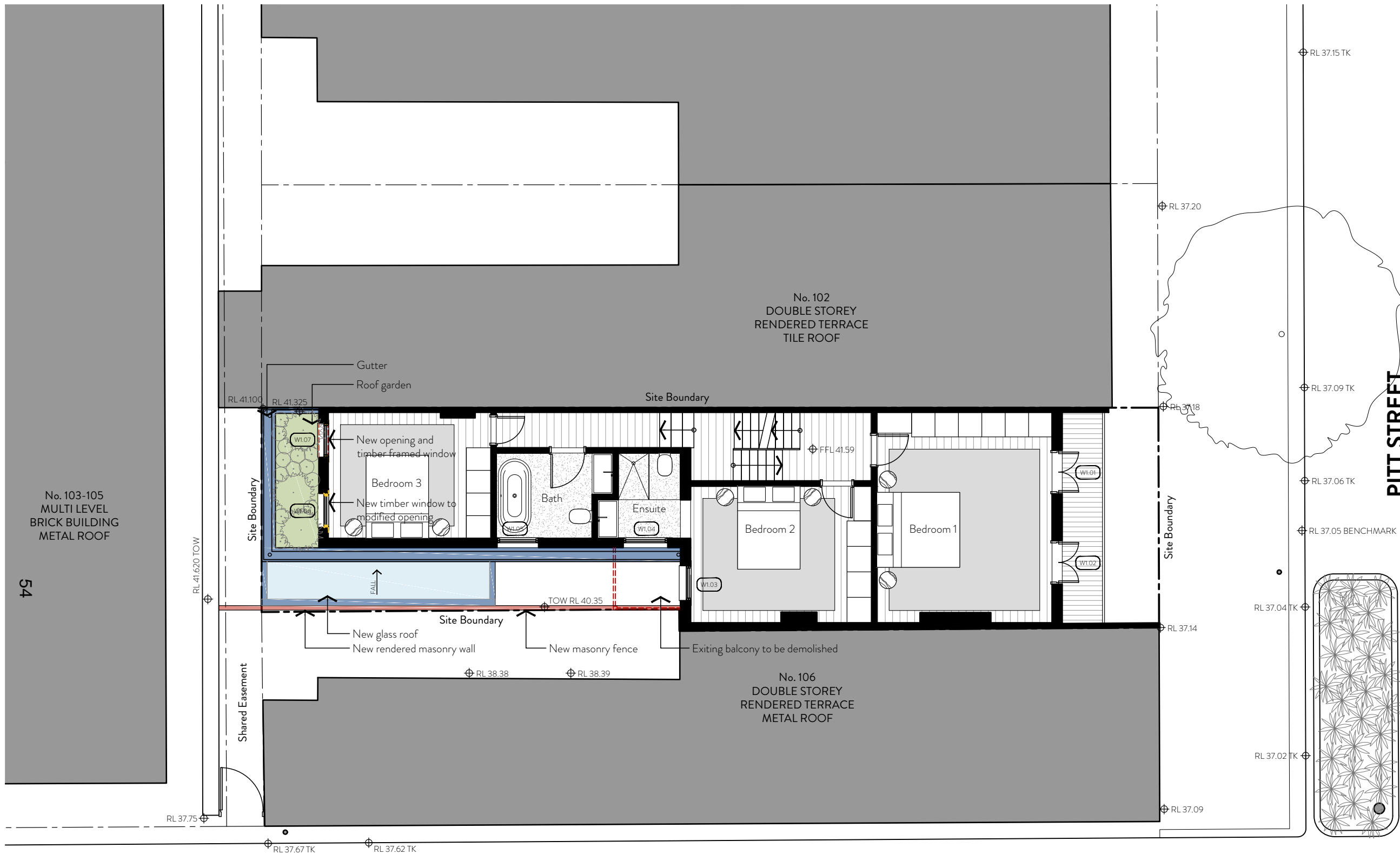
REVISION		DA Issue
01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

**FLOOR PLAN  
GROUND**

15.05.2024	1:100 A3
Drawn CP	<b>A-0200/02</b>
Checked CP	
Project No. <b>23.02</b>	

**CRAFT**



**DA LEGEND**

- Plan**
- Existing wall to be retained
  - Structure or wall to be demolished
  - Proposed new masonry wall
  - Proposed new lightweight walls
  - Proposed new glazing
- Finishes**
- Tiles
  - Masonry wall
  - New glazing
  - Metalwork
  - Joinery
  - Timber
  - Concrete
  - Planter
- Abbreviations**
- COS Check on site
  - DP Downpipe
  - EDP Existing Downpipe
  - EX Existing
  - FFL Finished Floor Level
  - LD Linear Drain
  - OF Overflow Spitter
  - RL Relative Level
  - TBC To be Confirmed
  - TBA To be Advised

**TURNER STREET**

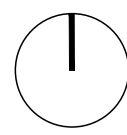
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



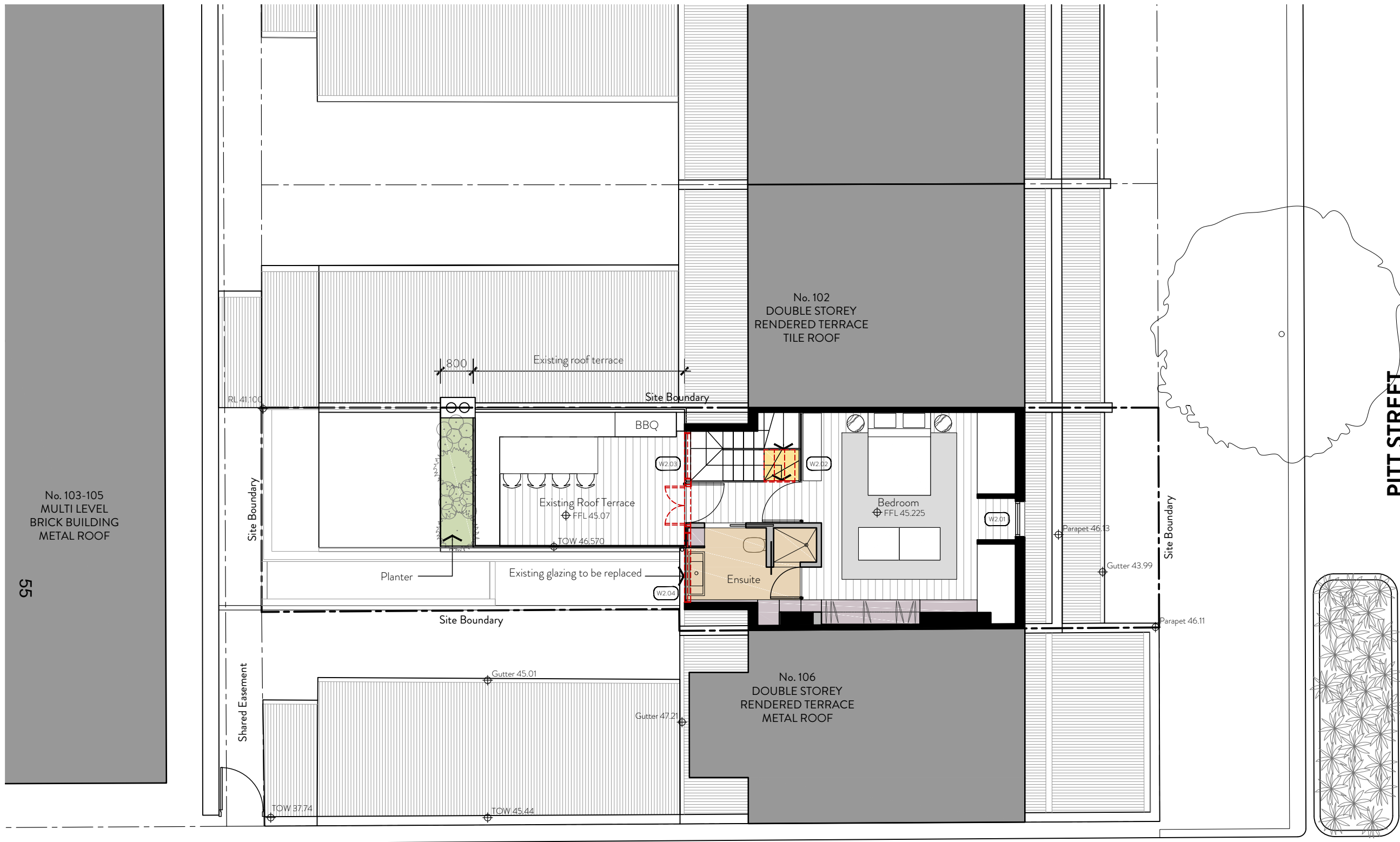
REVISION		DA Issue
01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

**FLOOR PLAN  
LEVEL 1**

15.05.2024	1:100 A3
Drawn CP	<b>A-0201/02</b>
Checked CP	
Project No. <b>23.02</b>	





**DA LEGEND**

- Plan**
- Existing wall to be retained
  - Structure or wall to be demolished
  - Proposed new masonry wall
  - Proposed new lightweight walls
  - Proposed new glazing
- Finishes**
- Tiles
  - Masonry wall
  - New glazing
  - Metalwork
  - Joinery
  - Timber
  - Concrete
  - Planter
- Abbreviations**
- COS Check on site
  - DP Downpipe
  - EDP Existing Downpipe
  - EX Existing
  - FFL Finished Floor Level
  - LD Linear Drain
  - OF Overflow Spitter
  - RL Relative Level
  - TBC To be Confirmed
  - TBA To be Advised

No. 103-105  
MULTI LEVEL  
BRICK BUILDING  
METAL ROOF

55

PITT STREET

TURNER STREET

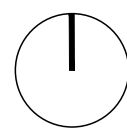
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
studio@craft-arch.com.au  
+61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



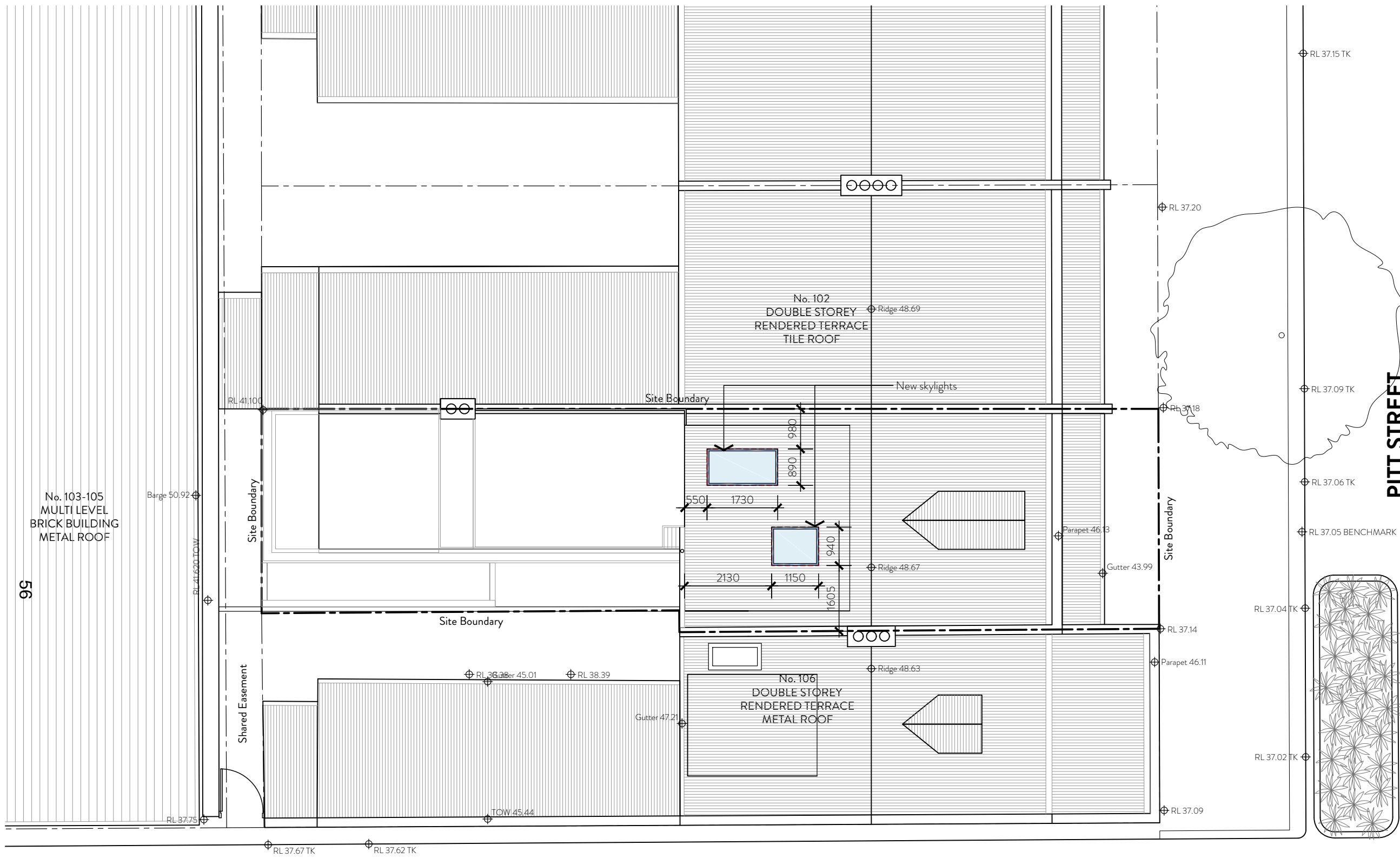
REVISION	
01	01.12.2023 DA Issue
02	15.05.2024 DA Additional Info

104 PITT STREET, REDFERN

FLOOR PLAN  
LEVEL 2

15.05.2024	1:100 A3
Drawn CP	
Checked CP	
Project No. 23.02	A-0202/02

**CRAFT**



**DA LEGEND**

- Plan**
- Existing wall to be retained
  - Structure or wall to be demolished
  - Proposed new masonry wall
  - Proposed new lightweight walls
  - Proposed new glazing
- Finishes**
- Tiles
  - Masonry wall
  - New glazing
  - Metalwork
  - Joinery
  - Timber
  - Concrete
  - Planter
- Abbreviations**
- COS Check on site
  - DP Downpipe
  - EDP Existing Downpipe
  - EX Existing
  - FFL Finished Floor Level
  - LD Linear Drain
  - OF Overflow Spitter
  - RL Relative Level
  - TBC To be Confirmed
  - TBA To be Advised

**TURNER STREET**

**PITT STREET**

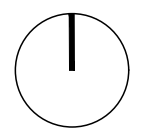
Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



REVISION		DA Issue
01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

**FLOOR PLAN  
 ROOF**

15.05.2024

Drawn CP  
 Checked CP  
 Project No. **23.02**

1:100 A3

**A-0203/02**

**CRAFT**



## DA LEGEND

### Plan

- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

### Finishes

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

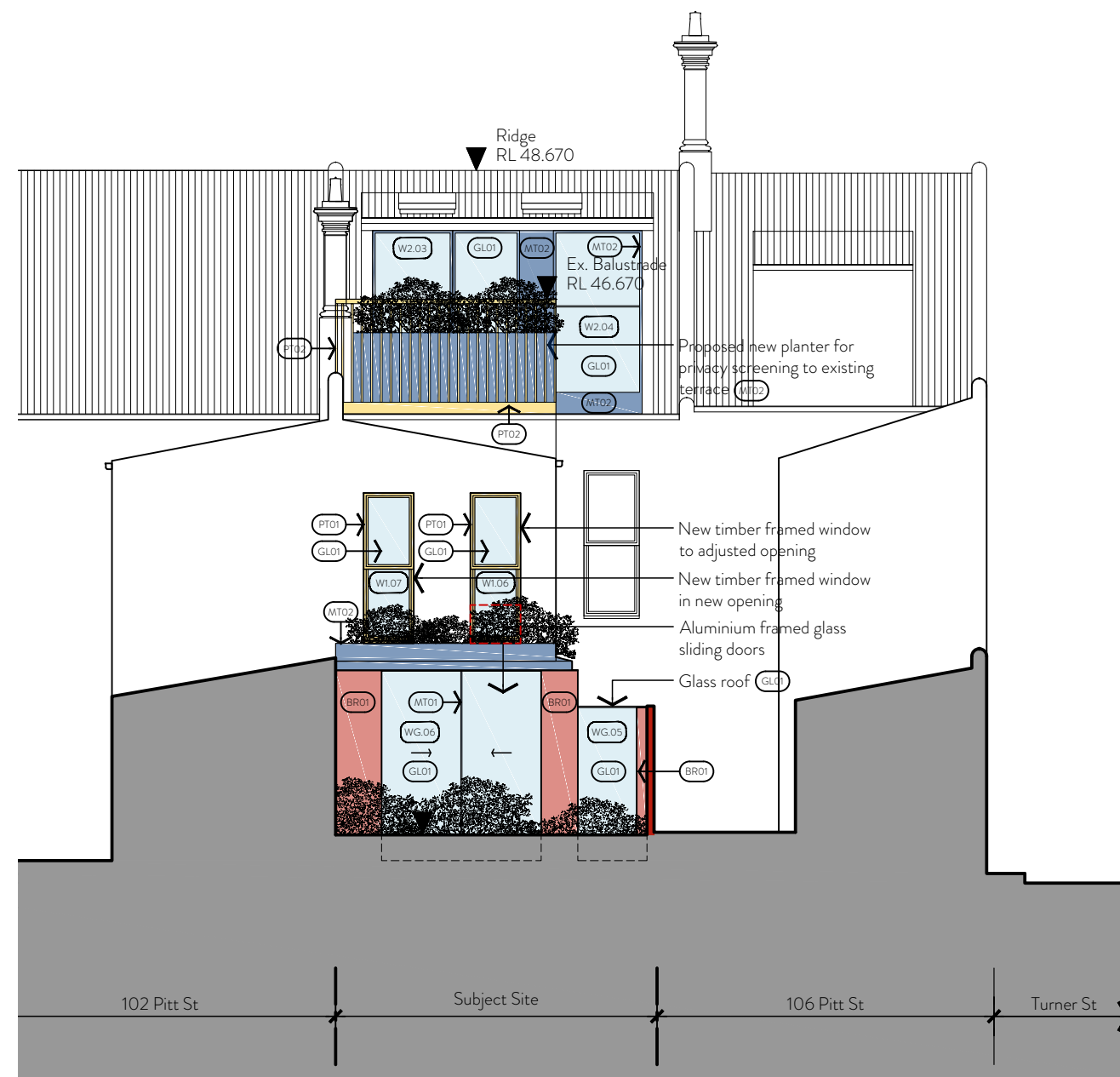
### Abbreviations

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



**01 EAST ELEVATION**

1:100



**02 WEST ELEVATION**

1:100

Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

**CRAFT ARCHITECTURE SYDNEY**  
ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
studio@craft-arch.com.au

+61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102

### REVISION

01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

15.05.2024

1:100 A3

Drawn CP

Checked CP

Project No. **23.02**

ELEVATIONS  
EAST, WEST

**A-0501/02**

**CRAFT**

# DA LEGEND

## Plan

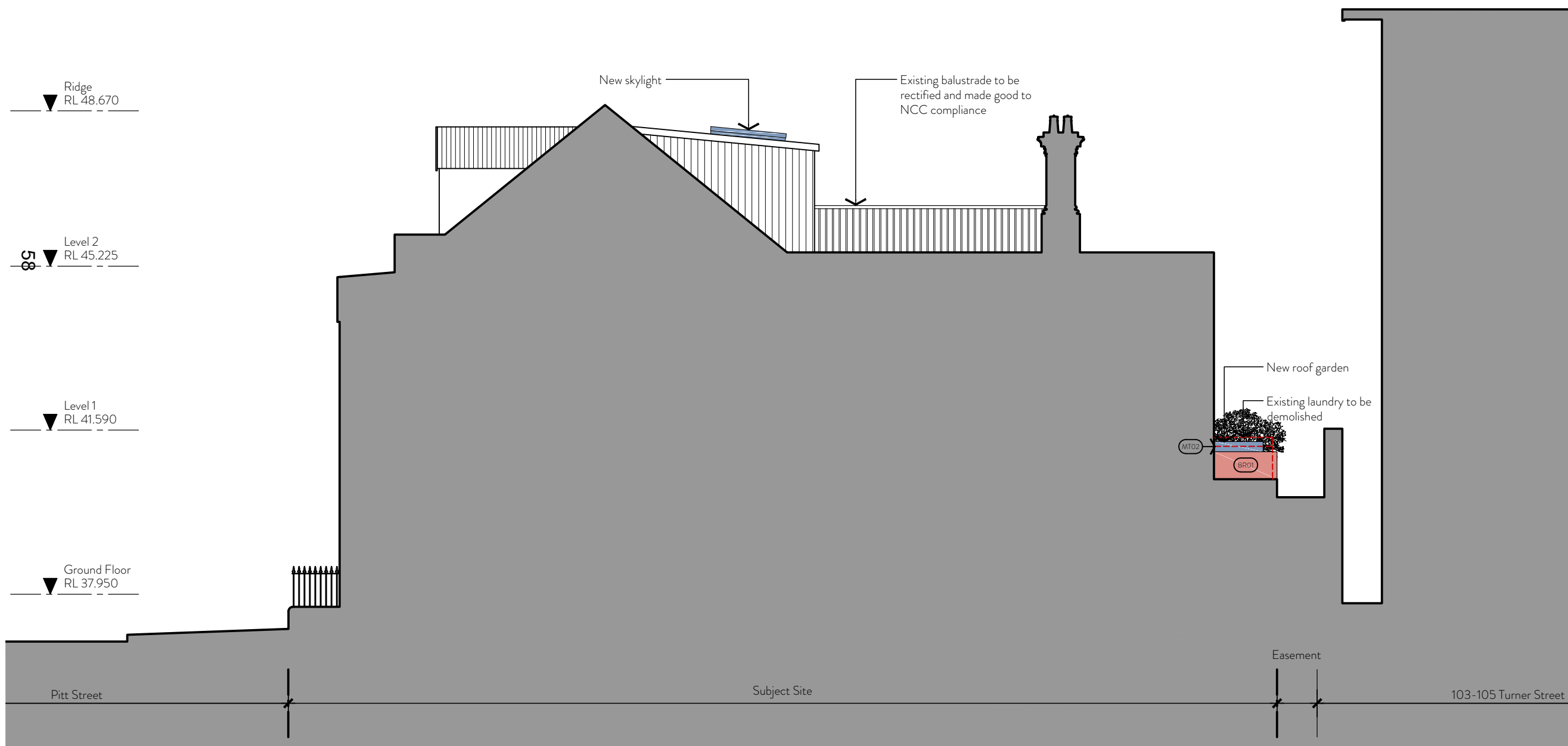
- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

## Finishes

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

## Abbreviations

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

### CRAFT ARCHITECTURE SYDNEY

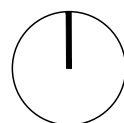
ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney

studio@craft-arch.com.au

+61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102



### REVISION

01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

ELEVATION  
NORTH

15.05.2024

Drawn CP

Checked CP

Project No. **23.02**

1:100 A3

**A-0502/02**

# CRAFT

# DA LEGEND

## Plan

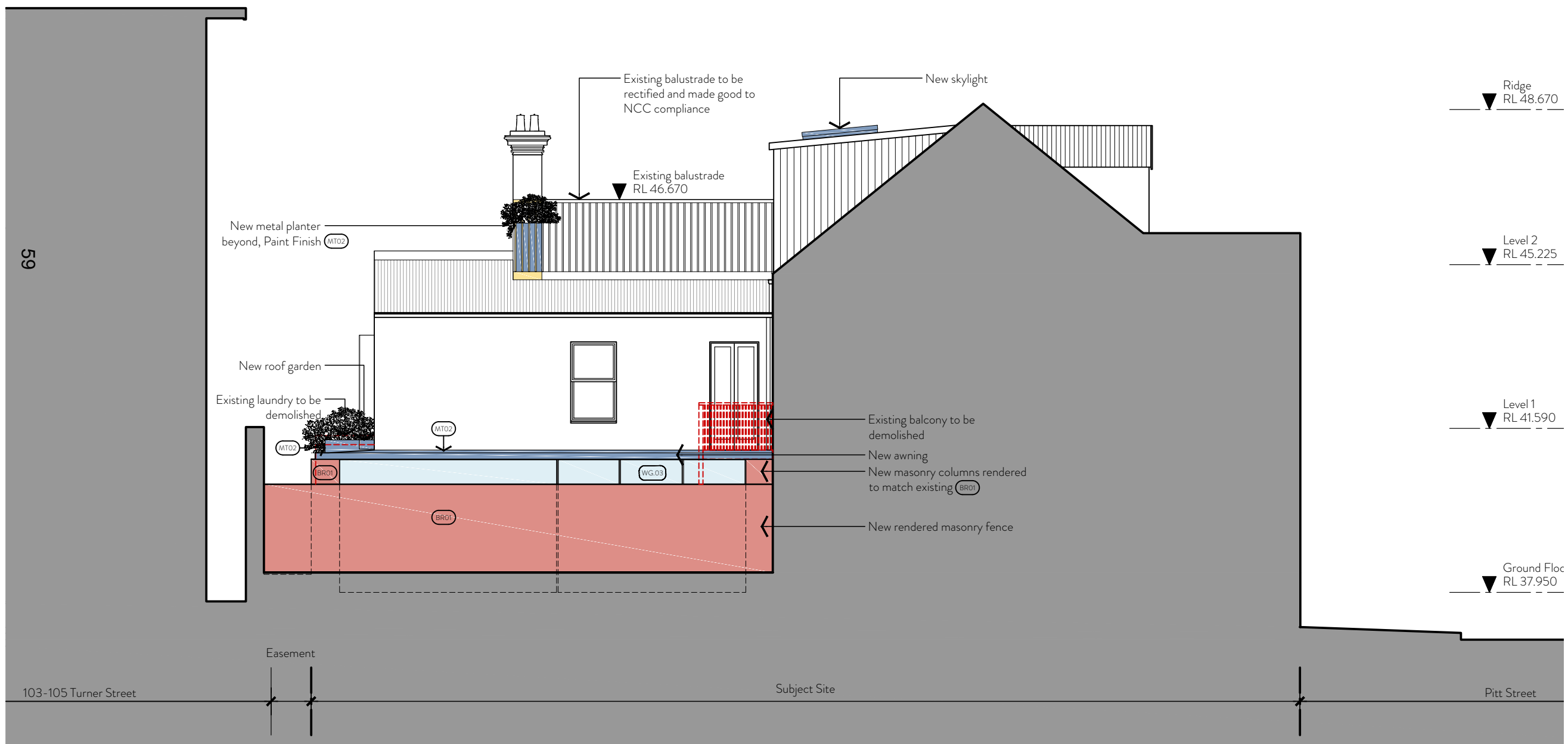
- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

## Finishes

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

## Abbreviations

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102

REVISION	
01	01.12.2023 DA Issue
02	15.05.2024 DA Additional Info

104 PITT STREET, REDFERN

ELEVATION SOUTH

15.05.2024

Drawn CP

Checked CP

Project No. 23.02

1:100 A3

A-0503/02

**CRAFT**

# DA LEGEND

## Plan

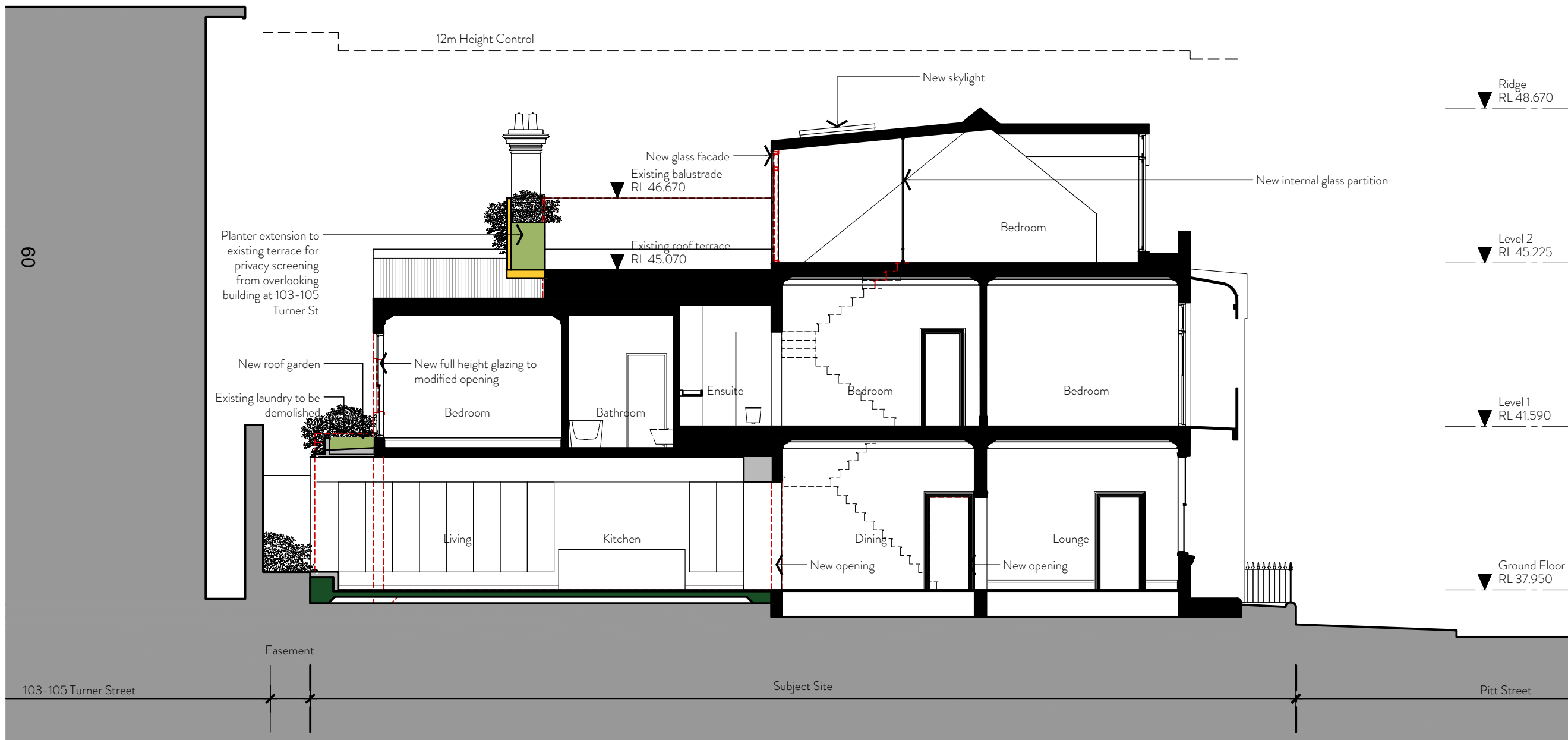
- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

## Finishes

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

## Abbreviations

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

In accepting and utilising this document the recipient agrees that Craft Architecture Sydney, ABN 85134406368 retain all common law, statutory law and other rights including copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than its intended use; to waive all claims against Craft Architecture resulting from unauthorised changes; or to reuse the document on other projects without the prior written consent of Craft Architecture. Under no circumstances shall transfer of this document be deemed a sale. Craft Architecture makes no warranties of fitness for any purpose.

**CRAFT ARCHITECTURE SYDNEY**  
 ABN 85134406368  
 Suite 3A, Level 9, 187 Macquarie Street, Sydney  
 studio@craft-arch.com.au  
 +61 415 447 388  
 Nominated Architect: Charles Peters Reg. NSW 8102

REVISION	
01	01.12.2023 DA Issue
02	15.05.2024 DA Additional Info

104 PITT STREET, REDFERN

15.05.2024

1:100 A3

Drawn CP  
 Checked CP  
 Project No. 23.02

A-0601/02

**CRAFT**

## SECTION A

## DA LEGEND

### Plan

- Existing wall to be retained
- Structure or wall to be demolished
- Proposed new masonry wall
- Proposed new lightweight walls
- Proposed new glazing

### Finishes

- Tiles
- Masonry wall
- New glazing
- Metalwork
- Joinery
- Timber
- Concrete
- Planter

### Abbreviations

- COS Check on site
- DP Downpipe
- EDP Existing Downpipe
- EX. Existing
- FFL Finished Floor Level
- LD Linear Drain
- OF Overflow Spitter
- RL Relative Level
- TBC To be Confirmed
- TBA To be Advised



## 01 SECTION B

1:100

Verify all dimensions prior to commencing work. Use figured dimensions only. Do not scale drawing. If in doubt, ask.

**CRAFT ARCHITECTURE SYDNEY**

ABN 85134406368

Suite 3A, Level 9, 187 Macquarie Street, Sydney

studio@craft-arch.com.au

+61 415 447 388

Nominated Architect: Charles Peters Reg. NSW 8102

### REVISION

01	01.12.2023	DA Issue
02	15.05.2024	DA Additional Info

104 PITT STREET, REDFERN

15.05.2024

1:100 A3

Drawn CP

Checked CP




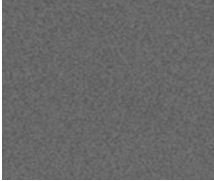


Project No. **23.02**

**A-0602/02**

SECTION B

# CRAFT

# Finishes Schedule

Code	Item	Specification	Supplier	Ver.
BR01	 Bagged Brick (Exterior)	Bagged Render Brick Colour to match existing	Builder Preferred	01
GL01	 Clear Glass (Exterior)	Clear Glass Thickness to meet BASIX requirements	Builder Preferred	01
MT01	 Anodised Aluminium (Window Frames)	Universal Anodisers Satin Charcoal Grey 20 Microns	Universal Anodisers 02 8788 2000 <a href="http://www.universalanodisers.com.au">www.universalanodisers.com.au</a>	01
MT02	 Painted Metalwork	Micaceous Iron Oxide Paint  Dulux Protective Coatings Colour: Mid Grey	Dulux 13 25 25	01
PT01	 Paint Finish (To New Timber Window Frames)	Type: Dulux Weathershied Colour: To Match Existing Note: 1m x 1m sample to be provided onsite for client review and approval.	Dulux 13 25 25	01
PT02	 Paint Finish (To Terrace Balustrade)	Type: Dulux Weathershied Colour: To Match Existing Note: 1m x 1m sample to be provided onsite for client review and approval.	Dulux 13 25 25	01